



Addendum #3

Request for Proposals for A/E Services

Gray Courthouse Improvements

Issued: April 2, 2025

This addendum is part of the RFP solicitation documents for the above-named project and modifies the original RFP documents dated March 19, 2025. Acknowledgement of receipt of this addendum is required as part of your proposal response.

Question #1: The RFP states that the estimated project cost range is \$2.75-\$3m. Please confirm this is cost for construction only.

Response: This range is for construction costs only.

Question #2: In addition to the site scope listed in RFP (Accessibility and drainage improvements to the parking lot) is there any Landscape Design anticipated?

Response: No landscape design is currently anticipated.

Question #3: Are Furniture Fixtures and Equipment (FFE) Design Services to be included in the project? If so, please clarify the scope of work and bid type.

Response: FF&E will be provided and installed by the County. The design team scope of services will include providing the design for power and data sufficient for workstations and/or systems furniture that are planned as part of the remodel scope.

Question #4: The RFP alludes to both rooftop and basement mechanical equipment replacement. Should the design team assume a full mechanical system replacement as part of this scope of work or is some re-use being proposed? Ideally if there's system re-use being proposed, as-builts and a pre-tab would be provided in this RFP. If so, is this information available?

Response: The planned mechanical equipment replacement only includes the rooftop mechanical equipment and ductwork that serves the basement structure on the east side of the building. Please see photo below. This equipment and ductwork need to be removed as part of the roofing replacement on the basement structure and the County is using this as an opportunity to provide a new mechanical system for the basement spaces.

The rooftop equipment on the main roof is not intended to be replaced, although mechanical curbs will likely need to be raised to accommodate new insulation as part of the roofing replacement. Existing ductwork is intended to be re-used except where impacted by the remodel. Mechanical record drawings from a 2005 remodel are included in this addendum and the successful design team will need to verify the as-built conditions. The County will provide a TAB report to the successful design team.



Question #5: Please clarify if exterior lighting is limited to lighting attached to the building facade or if there is existing site lighting that needs to be upgraded as part of this scope.

Response: Exterior lighting replacement will include lighting attached to the building façade and site lighting around the parking lot.

Question #6: Will shortlisted firms have an opportunity to ask further questions on scope of work before submitting a fee?

Response: Yes, shortlisted firms will have an opportunity to ask further questions before an interview and before submitting a fee.

Question #7: Is a site plan available?

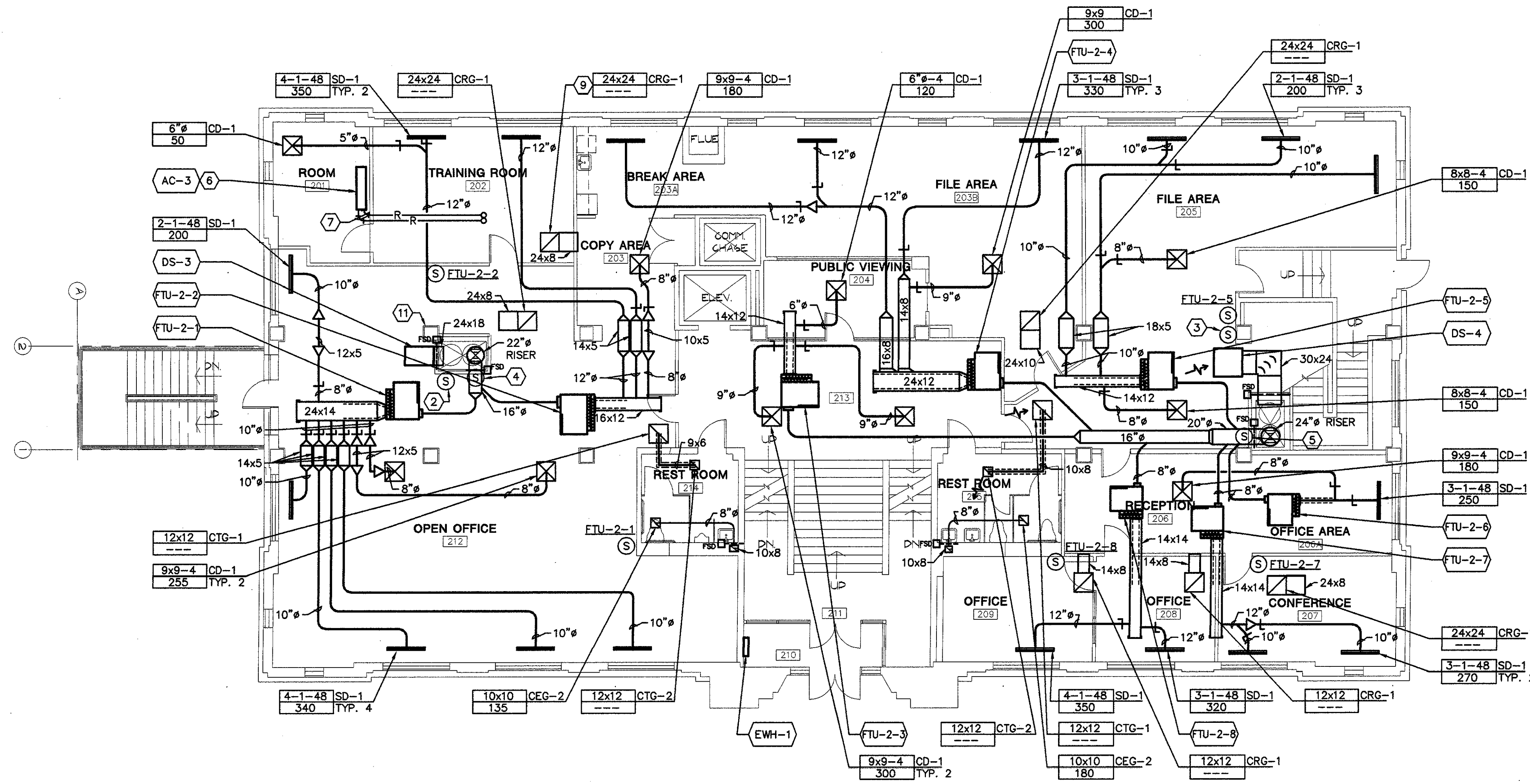
Response: Please see the site plan attached to this addendum. The site plan does not include the ground floor connection between the two courthouse buildings shown on the attached floor plan. A topographic survey of the parking lot will be provided to the successful design team.

Question #8: Are as-built drawings of the courthouse available that describe the envelope?

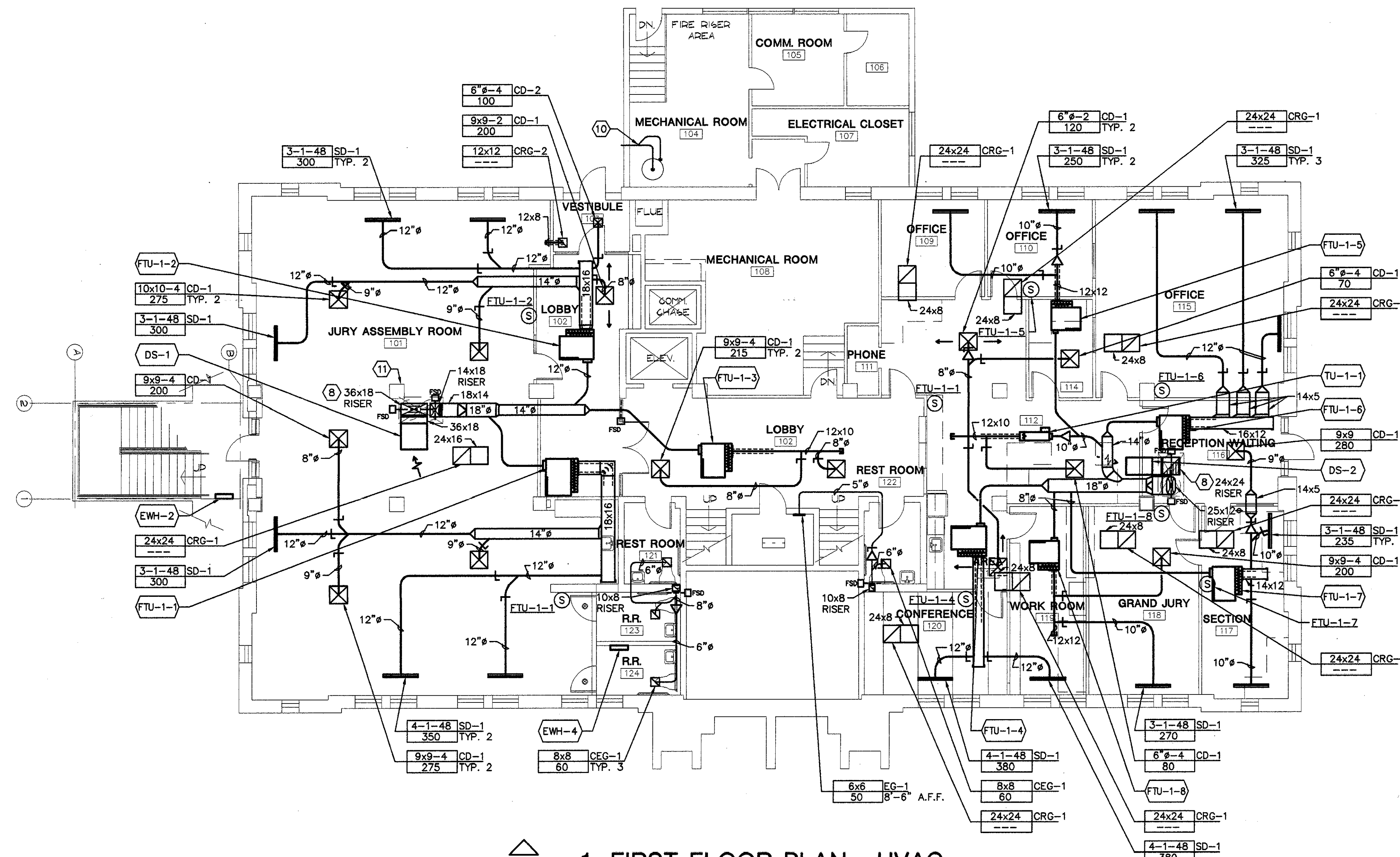
Response: As-builts are not available; however, see descriptions of known envelope components below:

- Existing Main Roof
 - Single ply membrane
 - ½" fiberboard
 - No insulation
 - 4 Ply BUR (Hot)
 - Concrete deck
- Existing Basement Roof
 - Single ply membrane
 - ½" foam board
 - No insulation
 - 4 Ply BUR (Hot)
 - Plywood deck
- Exterior Walls
 - Waterproof coating
 - One coat Xypex waterproofing to seal concrete cracks and voids
 - One coat Thoroseal cement-based coating
 - One coat Protecrete clear sealer
 - Cast-in-place concrete
 - Cementitious coating (approx. ¼" thick)
 - 1" air gap
 - 2-1/2" metal framing, no insulation
 - Gypsum wallboard, painted
- Exterior Windows and Doors
 - Storefront and hollow metal frames with insulated glazing units and/or hollow metal doors

END OF ADDENDUM #3



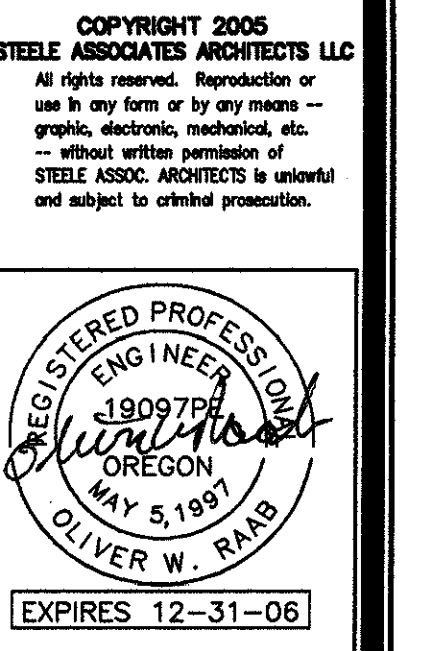
2 SECOND FLOOR PLAN - HVAC
1/8" = 1'-0"



1 FIRST FLOOR PLAN - HVAC
1/8" = 1'-0"

NOTES THIS SHEET

- ① COORDINATE FTU PLACEMENT WITH LIGHTS. MAINTAIN REQUIRED CLEARANCE INCLUDING MEC. TYPICAL.
- ② SPACE STATIC PRESSURE SENSOR FOR AC-1.
- ③ SPACE STATIC PRESSURE SENSOR FOR AC-2.
- ④ DUCT STATIC PRESSURE SENSOR FOR AC-1.
- ⑤ DUCT STATIC PRESSURE SENSOR FOR AC-2.
- ⑥ MOUNT UNIT 7'-6" A.F.F.
- ⑦ REFRIGERANT LINES TO CU-1 ON ROOF. SIZE PER OWNERS RECOMMENDATION.
- ⑧ TERMINATE 24" INTO SHAFT.
- ⑨ SEE DETAIL 3/M3.1. TYPICAL.
- ⑩ PVC WATER HEATER VENT SIZE PER MANUFACTURER'S RECOMMENDATION. TERMINATE WITH CONCENTRIC TERMINATION KIT.
- ⑪ COORDINATE CEILING HEIGHT WITH ARCHITECT AND CEILING INSTALLER AT BEAM LOCATIONS. CEILING HEIGHTS WILL VARY. CRITICAL AREAS AT MAIN NORTH/SOUTH BEAMS AT COLUMN LINES.



Steele Associates
ARCHITECTS
730 SW BONNETT
541.382.9887 FAX 541.385.8816
BEND, OR 97702
info@steele-arch.com

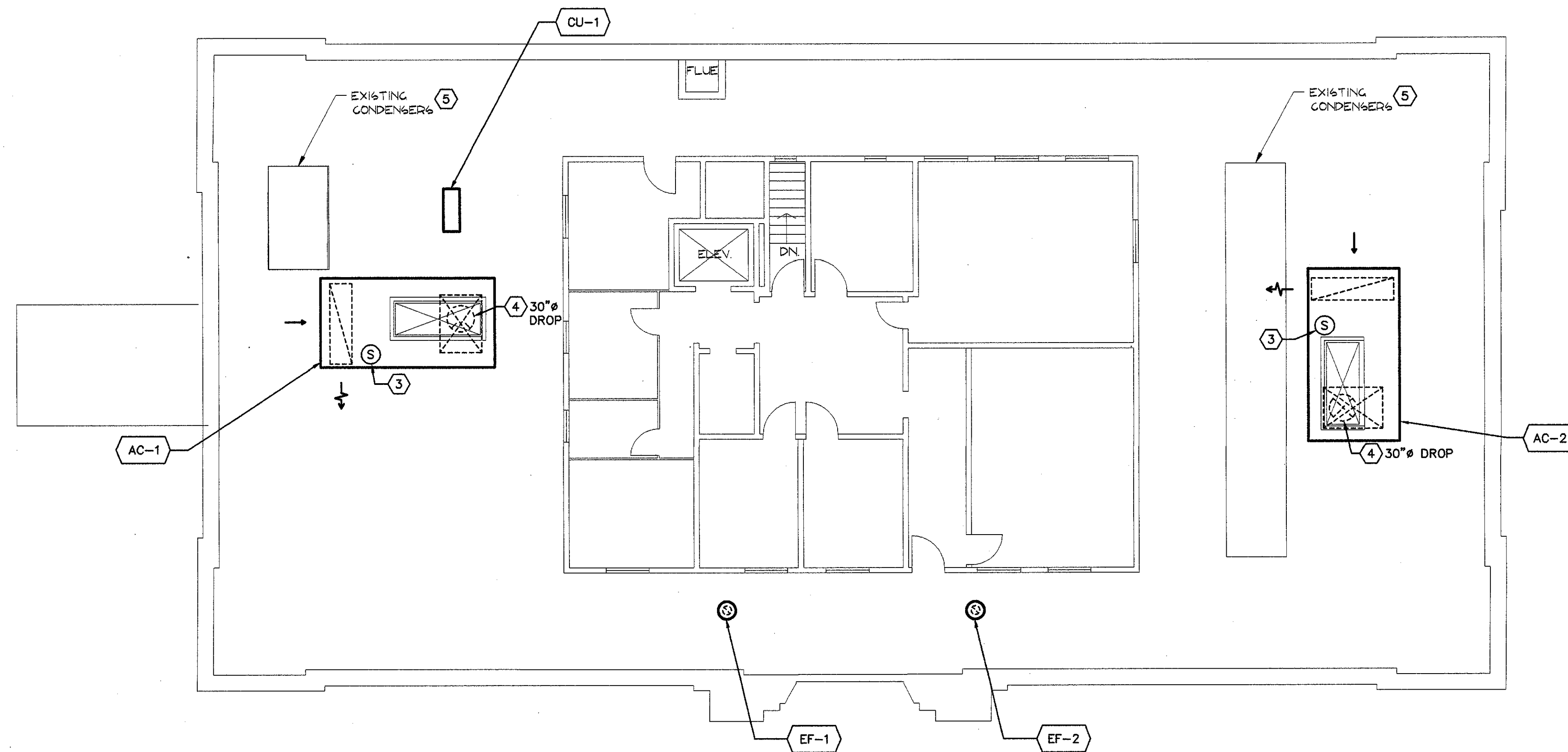
D.C. COURTHOUSE REMODEL
1164 N.W. BOND STREET
BEND OREGON
FIRST AND SECOND FLOOR PLANS - HVAC

PRINTS ISSUED	DATE
JOB NO. 02131.21	
DATE 02/03/05	
DRAWN BY ADP	CHECKED BY OR
REVISIONS	DATE

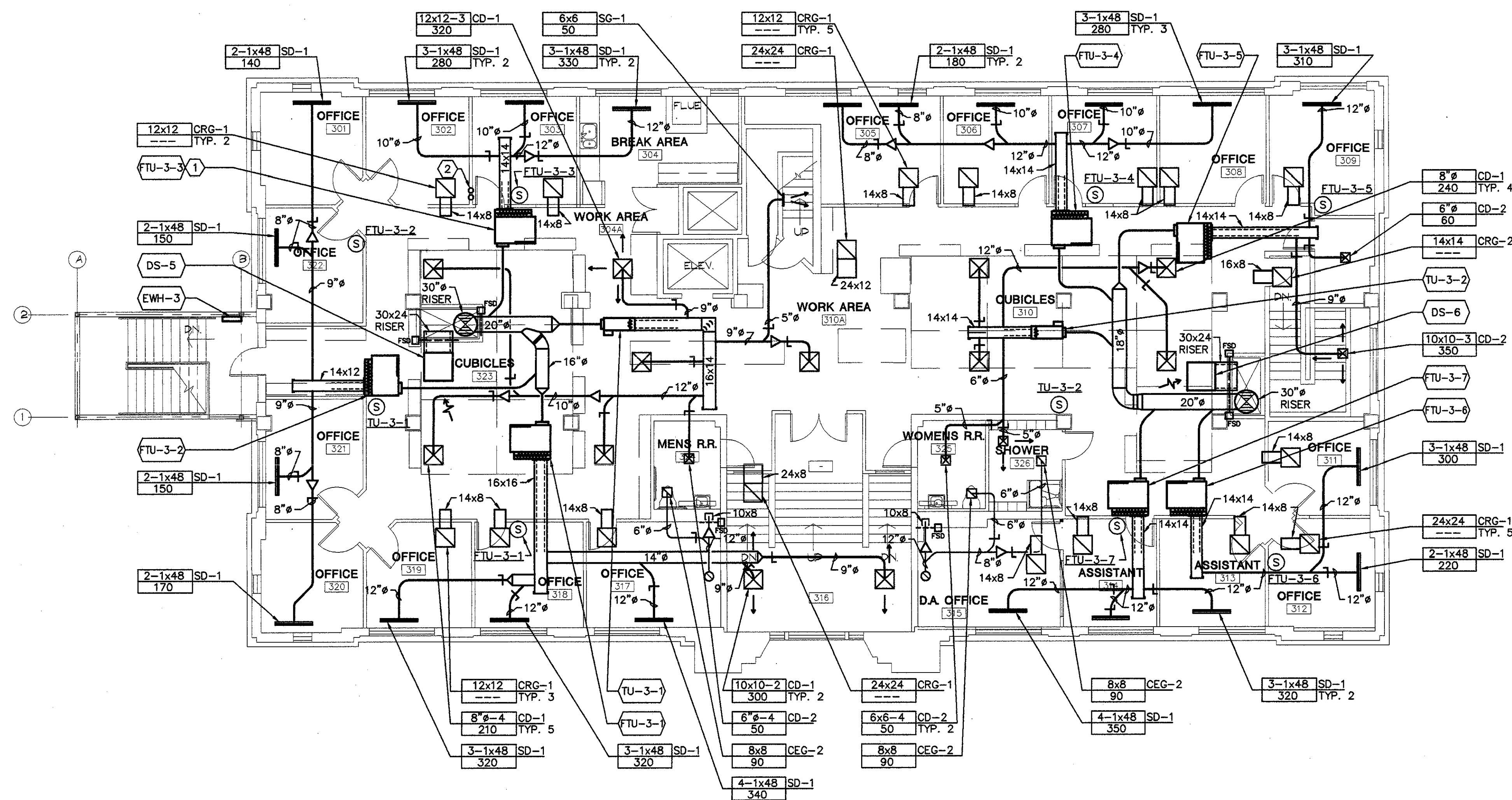
Interface
ENGINEERING
200 HAWTHORNE AVE. SE, SUITE 8-200, SALISBURY, OR 97131
PHONE 503.364.5354 FAX 503.364.5434

SHEET NO.
M2.1
OF SHEETS

PERMIT CONSTRUCTION SET



2 FOURTH FLOOR PLAN - HVAC
1/8" = 1'-0"

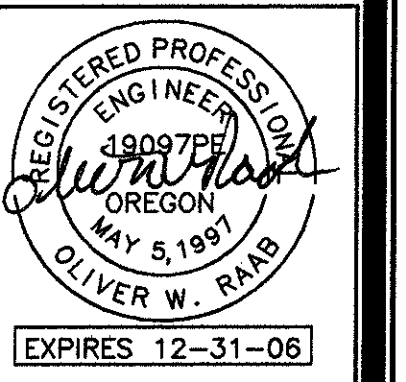


1 THIRD FLOOR PLAN - HVAC
1/8" = 1'-0"

NOTES THIS SHEET

- ① COORDINATE FTU PLACEMENT WITH LIGHTS. MAINTAIN REQUIRED CLEARANCE INCLUDING MEC. TYPICAL.
- ② REFRIGERANT LINES TO CU-1 ON ROOF.
- ③ PROVIDE SMOKE DETECTOR AT RETURN OF AC UNIT.
- ④ TRANSITION FULL SIZE TO AC UNIT SUPPLY OPENING. PROVIDE FLEX CONNECTOR IN DUCT BEFORE TAKE OFF TO THIRD FLOOR.
- ⑤ COORDINATE AC UNIT PLACEMENT WITH EXISTING CONDENSERS TO BE REMOVED. MAINTAIN CONDITIONING TO ALL AREAS OF BUILDING DURING PHASED REMODEL.

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Steele Associates
ARCHITECTS
730 S.W. BONNETT
541.392.9887 FAX 541.395.8816
BEND, OR 97702
info@steele-arch.com

D.C. COURTHOUSE REMODEL
1164 N.W. BOND STREET
BEND OREGON
THIRD & FORTH FLOOR PLANS - HVAC

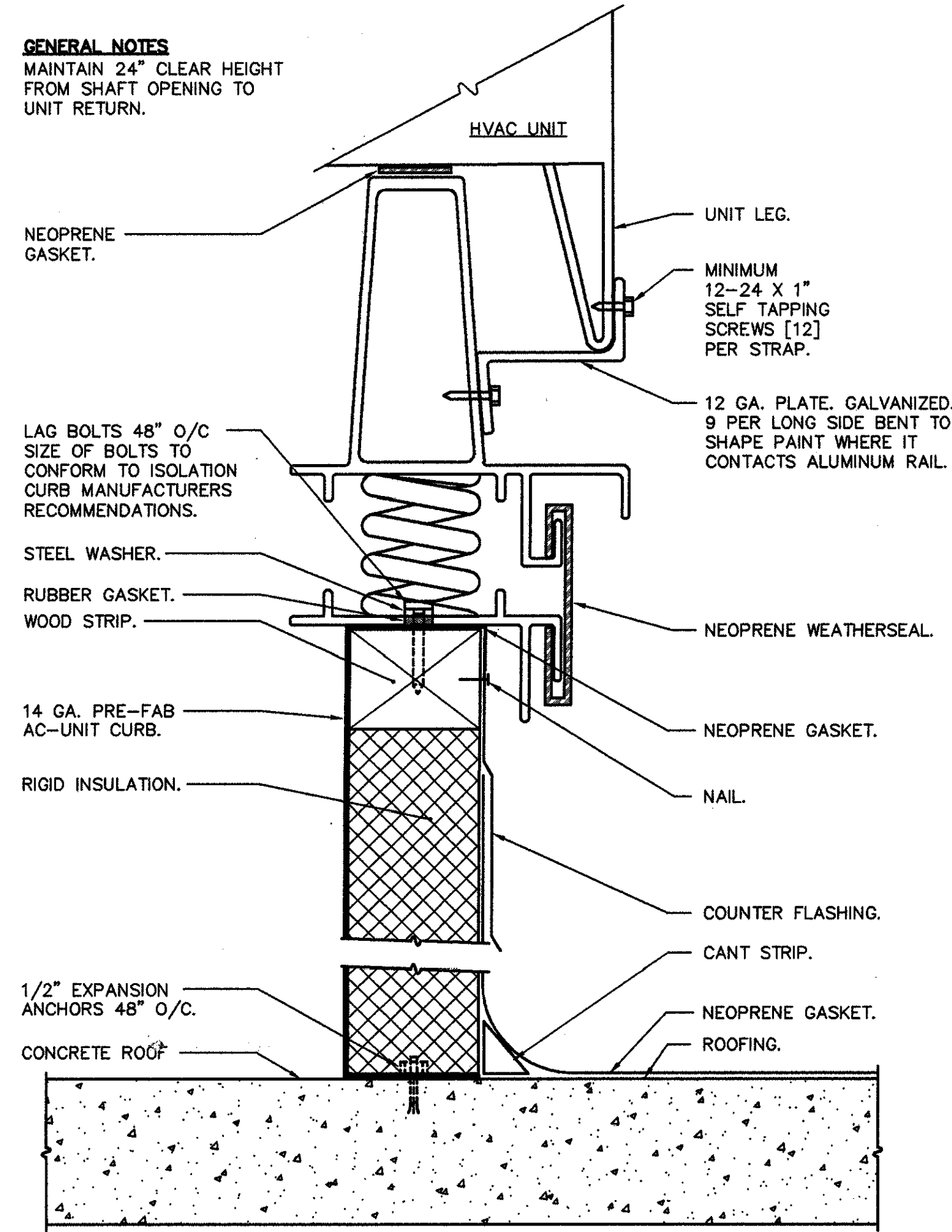
PRINTS ISSUED	DATE
JOB NO. 02131.21	DATE 02/03/05
DRAWN BY ADG	CHECKED BY OR
REVISIONS	DATE

Interface
ENGINEERING
200 HAWTHORNE AVE. SE, SUITE B-200, BAKEM, OR 97001
PHONE 503.354.5354 FAX 503.354.5434

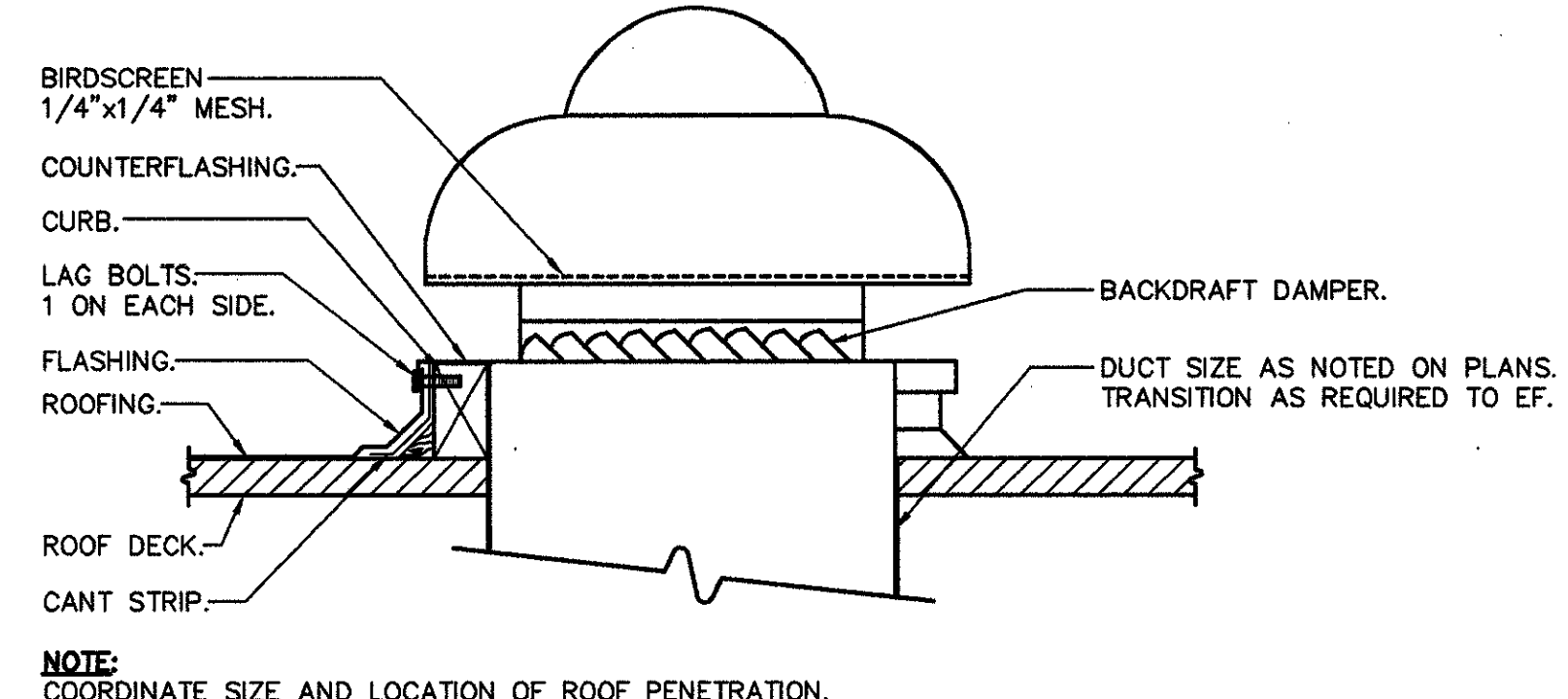
SHEET NO.
M2.2
OF SHEETS

PERMIT CONSTRUCTION SET

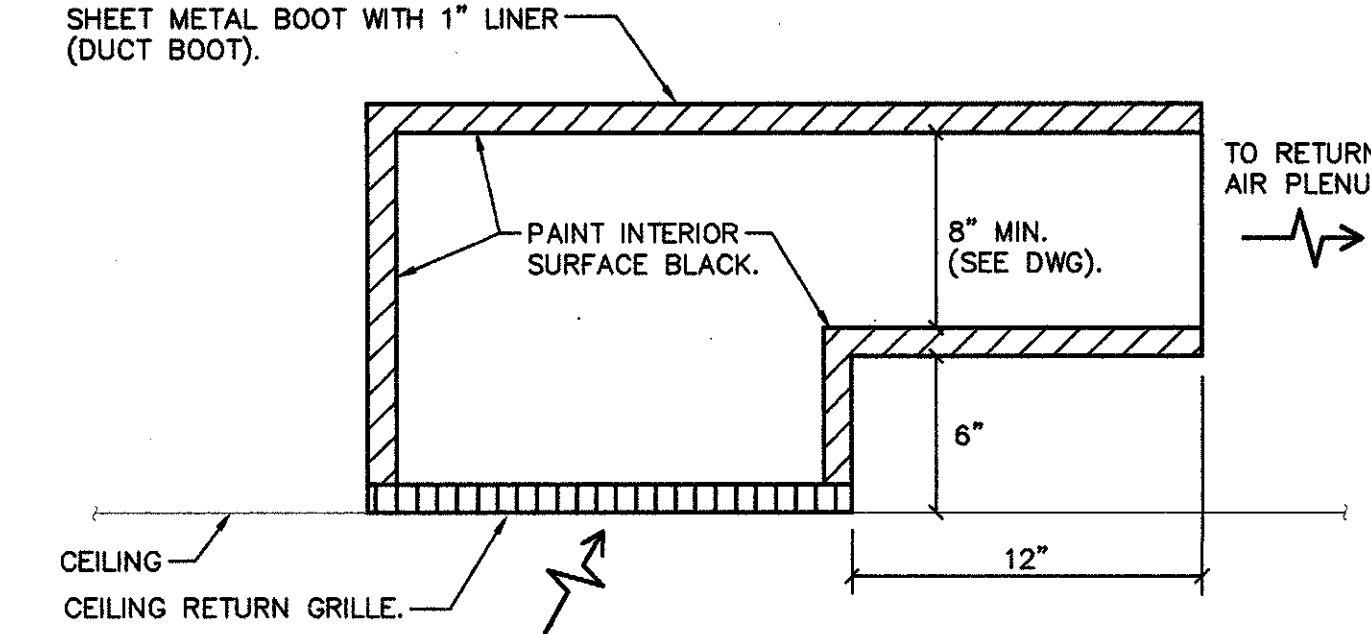
GENERAL NOTES
MAINTAIN 24" CLEAR HEIGHT FROM SHAFT OPENING TO UNIT RETURN.



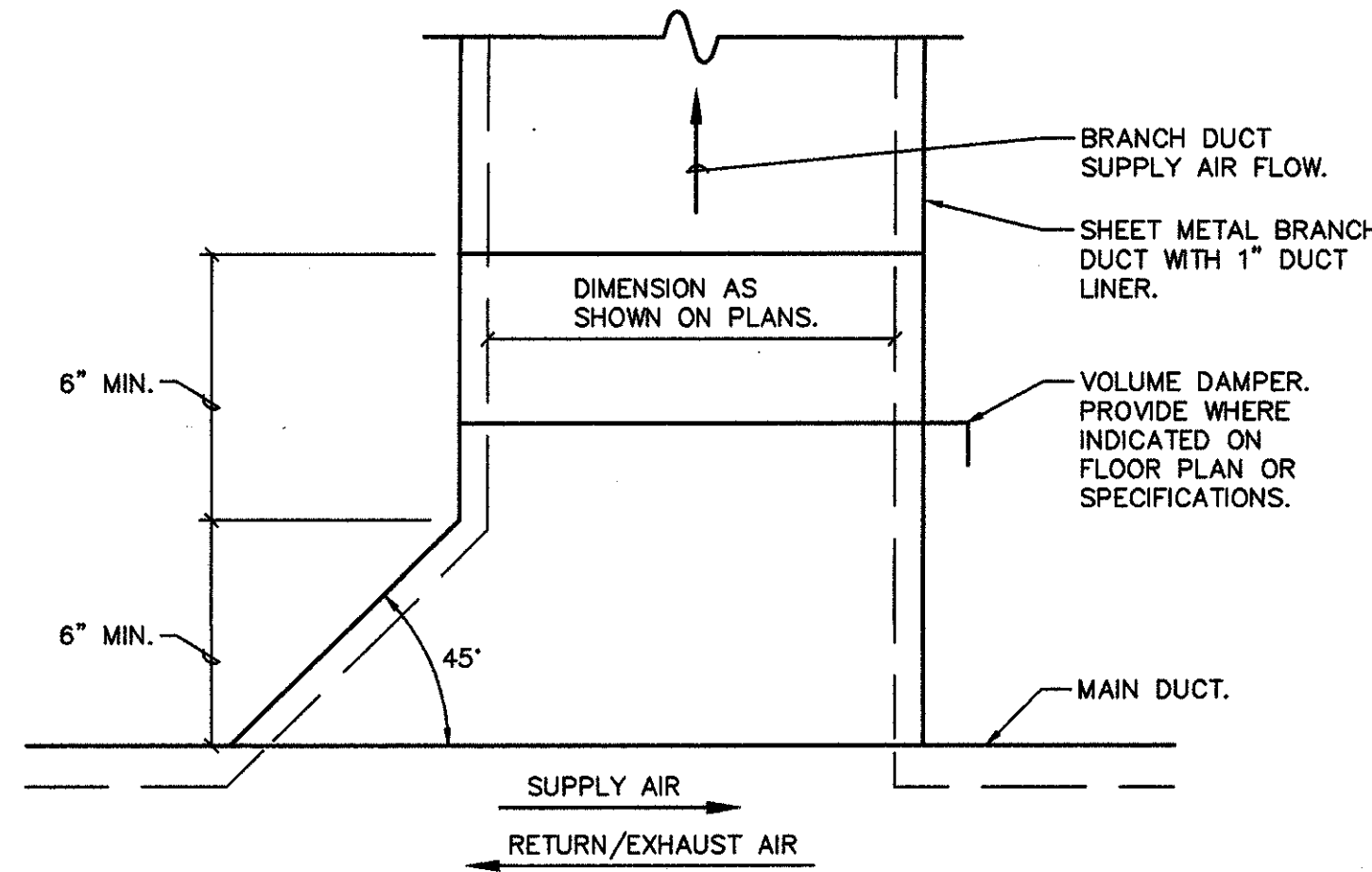
1 AC UNIT CURB W/SPRING
NO SCALE MHVEQ15A.dwg



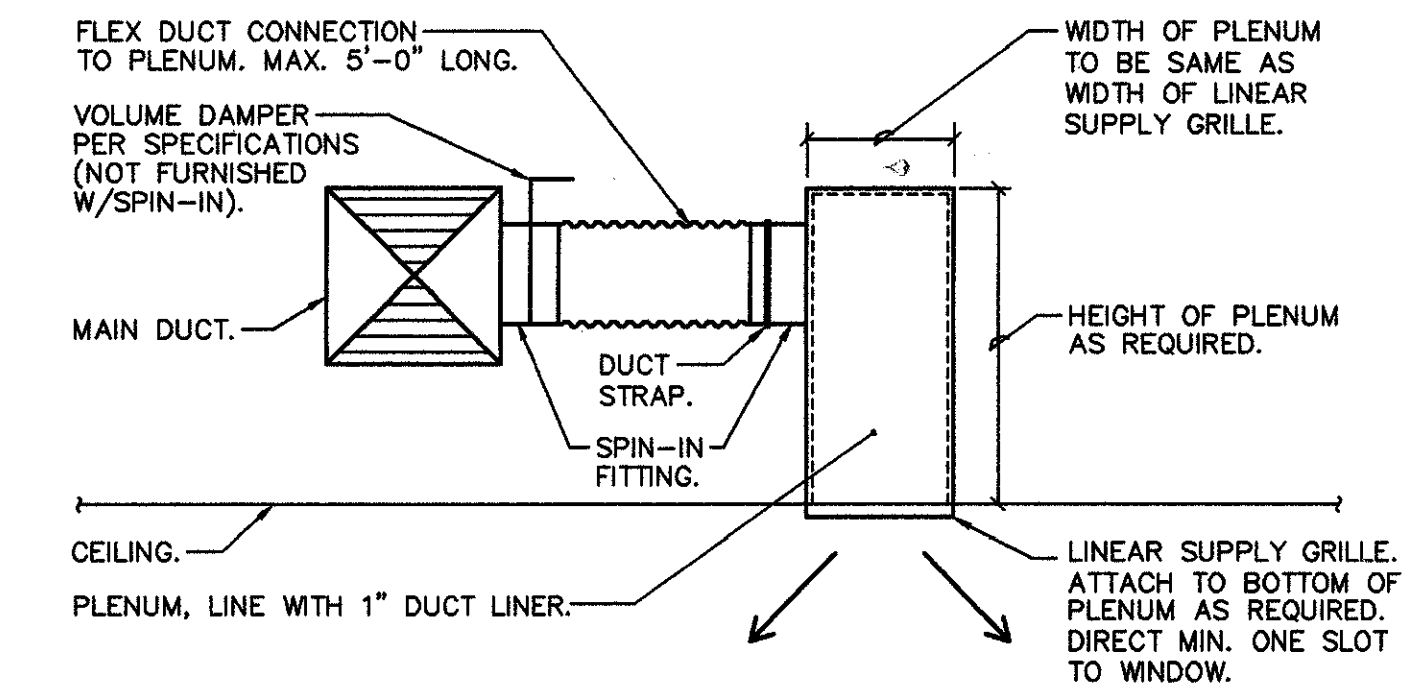
2 ROOF EXHAUST FAN
NO SCALE MEHEQ03A.dwg



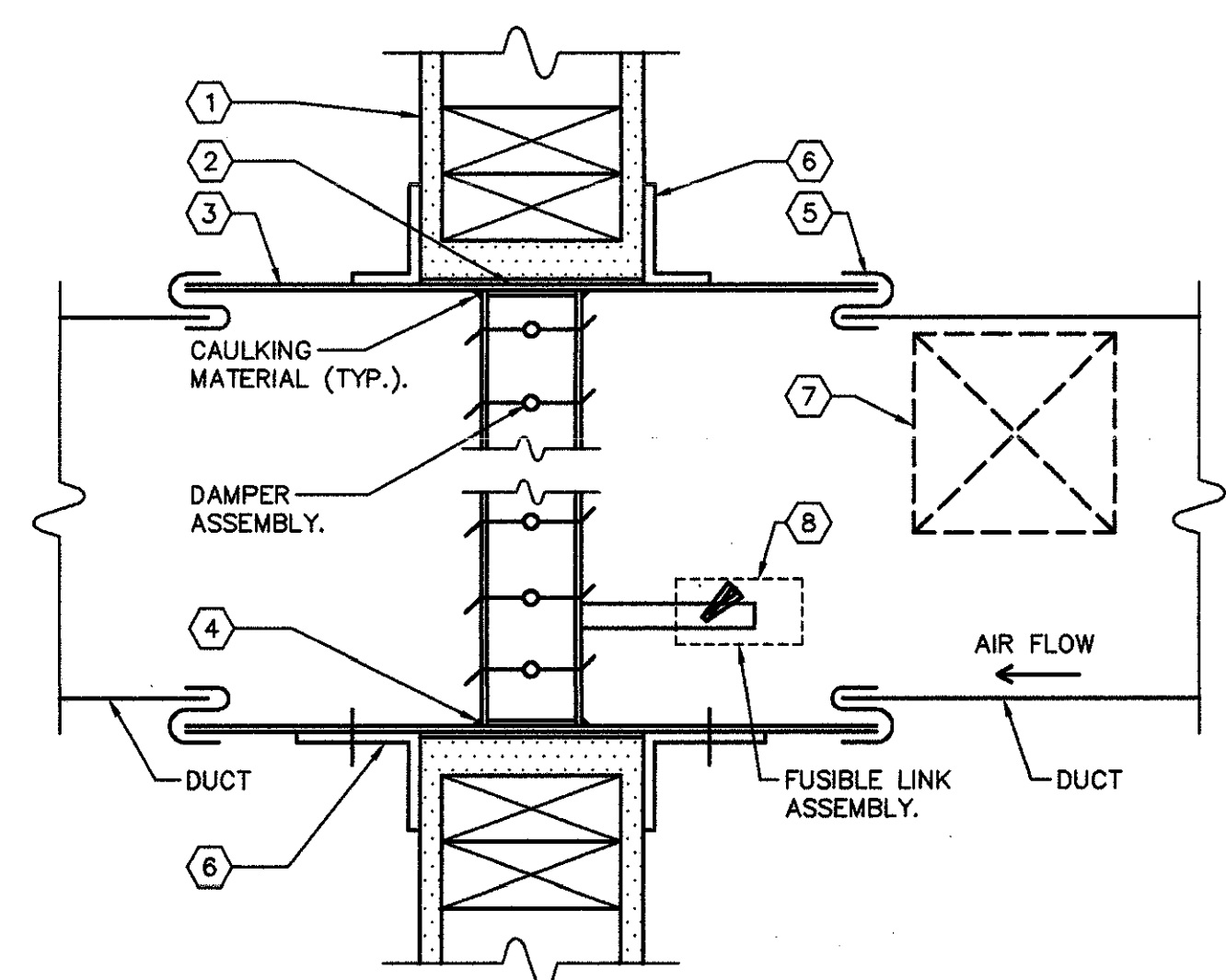
3 CEILING RETURN ACOUSTIC BOOT
NO SCALE MHVDU13A.dwg



4 MAIN RECTANGULAR BRANCH DUCT CONNECTION
NO SCALE MHVDU11A.dwg



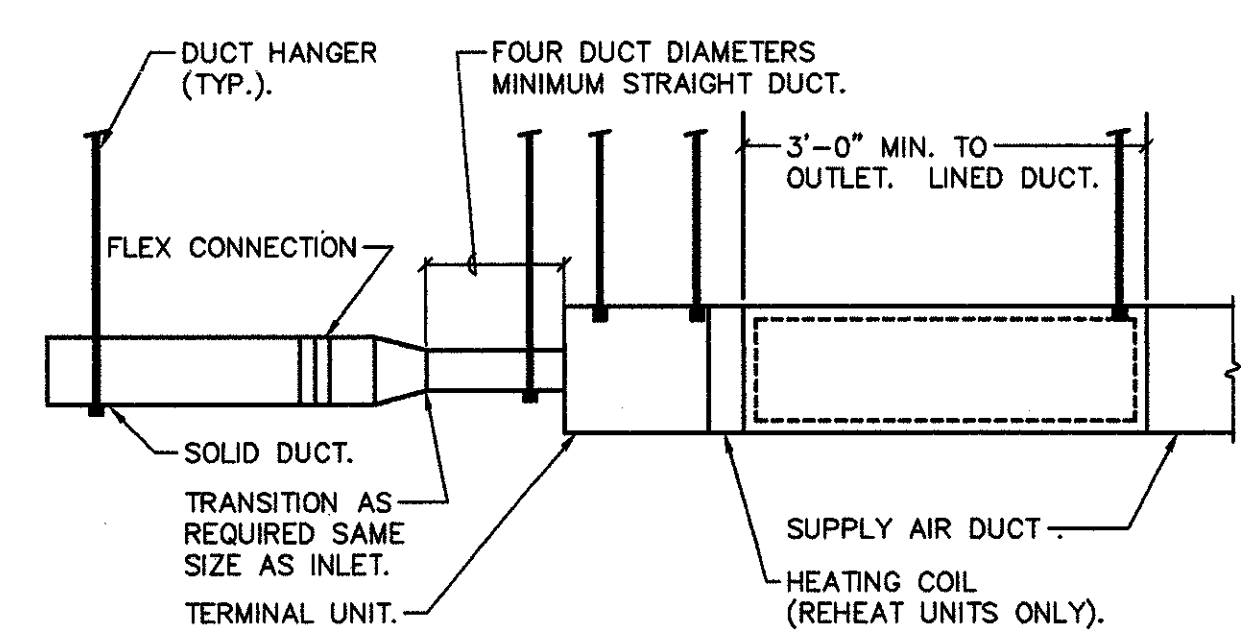
5 LINEAR SUPPLY GRILLE
NO SCALE MHVDU14A.dwg



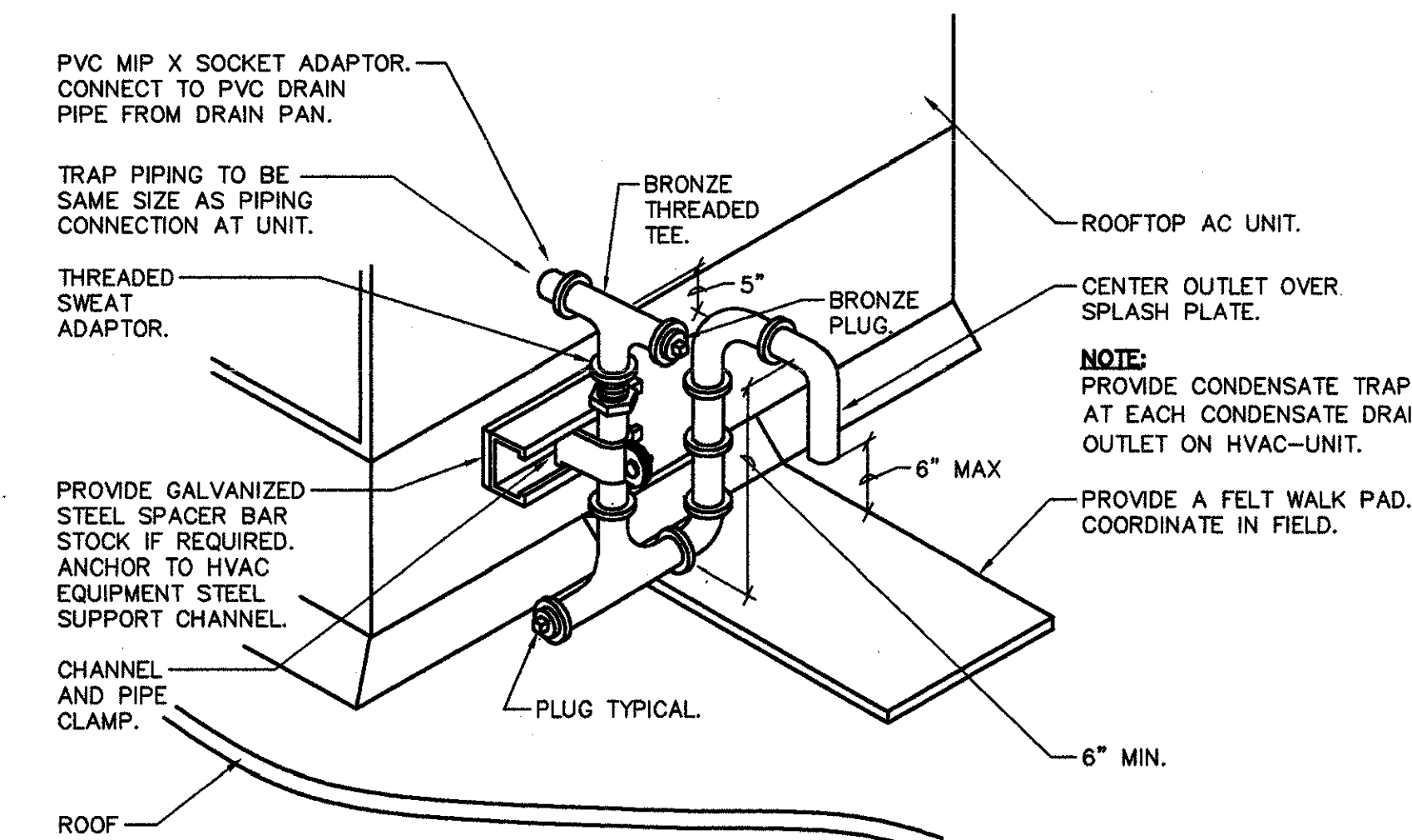
6 FIRE/SMOKE DAMPER
NO SCALE MHVDU15B.dwg

- NOTES**
- (1) FIRE RATED PARTITION. COORDINATE WITH ARCHITECTURAL FOR FRAMING AND FIRE RATED LINING REQUIREMENTS.
 - (2) COORDINATE PARTITION OPENING, 1/8" LARGER THAN FIRE DAMPER SLEEVE PER FOOT OF WIDTH OR HEIGHT.
 - (3) PROVIDE SLEEVE 3" BEYOND EDGE OF PARTITION, EACH SIDE.
 - (4) FIRE DAMPER FRAME ATTACHED TO SLEEVE BY MANUFACTURER.
 - (5) "S" TYPE DUCT CONNECTION. DO NOT SCREW OR BOLT.
 - (6) ANGLE ALL AROUND SLEEVE MINIMUM 1" OVERLAP WITH WALL FRAMING. ONE INCH FILLET WELDS 5" MAX. ON CENTER, OR 1/4" BOLTS 5" MAX. ON CENTER. DO NOT ATTACH ANGLES TO WALL. COORDINATE WITH DAMPER MANUFACTURER FOR APPROVED ANGLE SIZE AND GAUGE.
 - (7) PROVIDE DUCT ACCESS DOOR. COORDINATE LOCATION AND TYPE OF ARCHITECTURAL SERVICE ACCESS WITH ARCHITECTURAL.
 - (8) DAMPER ACTUATOR. MOUNT EXTERNAL OF DUCT ON DAMPER SLEEVE. BY DAMPER MANUFACTURER.

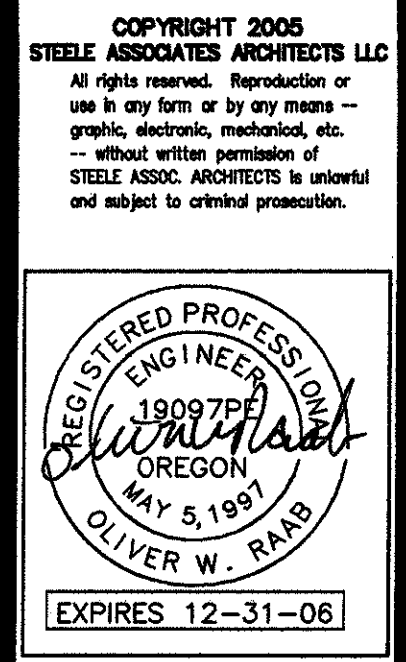
GENERAL NOTES
DETAIL INDICATES REQUIREMENTS FOR STANDARD FRAME INSTALLATION. REFERENCE SMACNA FIRE, SMOKE AND RADIATION DAMPER INSTALLATION GUIDE* FOR OTHER CONFIGURATION REQUIREMENTS. COMPLY FULLY WITH ABOVE MENTIONED AND ALSO AHJ REQUIREMENTS IN ALL CASES.



7 TERMINAL UNIT
NO SCALE MHVEQ03A.dwg



8 CONDENSATE TRAP
NO SCALE MHVEQ06A.dwg



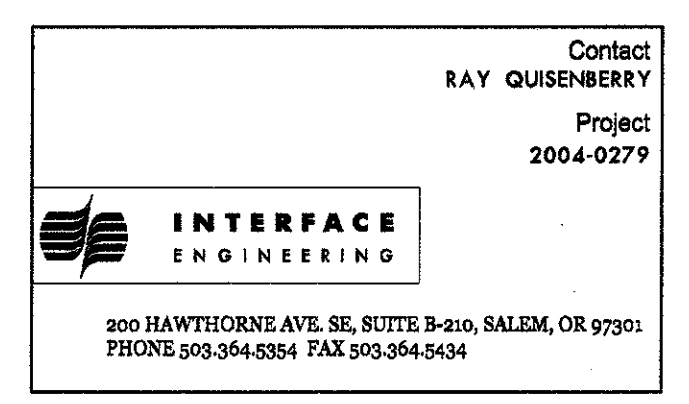
Steele Associates Architects LLC
ARCHITECTS
730 S.W. BONNETT SUITE 3000
541.392.9857 FAX 541.395.8816
BEND, OR 97702
info@steele-arch.com

D.C. COURTHOUSE REMODEL
1164 N.W. BOND STREET
BEND OREGON
DETAILS - HVAC

REVISED	DATE

JOB NO. 02131.21
DATE 02/03/06
DRAWN BY BCB
CHECKED BY CR
REVISIONS
DATE

SHEET NO.
M3.1
OF SHEETS



EQUIPMENT SCHEDULE		
SYMBOL	DESCRIPTION	ELECTRICAL
AC-1	PACKAGED VAV ROOFTOP AIR CONDITIONING UNIT WITH GAS HEAT. (SERVES NORTH HALF OF BUILDING) SYSTEM CAPABILITY: SUPPLY: 11,200 CFM AT 1.3 IN. E.S.P., 3.05 IN. T.S.P.; RETURN/EXHAUST: 11,200 CFM AT 0.7 IN. E.S.P. 3,800 CFM MIN. OSA. MIN. COOLING: 257.8 MBH TOTAL; 257.8 MBH SEN. AT 79.9 F EDB, 62.1 F EWB, 90 F AMBIENT. MIN. HEATING: 475 MBH INPUT; 380 MBH OUTPUT; WITH ROOF CURB AND ECONOMIZER. MIN. 9.5 EER. OPTIONS: ROOF CURB, ECONOMIZER, POWER EXHAUST. PROVIDE ISOLATION CURB IF FANS ARE NOT SPRING ISOLATED. APPROX OPERATING WEIGHT: 7,000 LBS BASED ON: AAOB RN-026-8.	208V / 3 PHASE 154 MCA 175 MOCP 15 HP SUPPLY FAN W/ VFD 5 HP EXHAUST FAN W/ VFD
AC-2	PACKAGED VAV ROOFTOP AIR CONDITIONING UNIT WITH GAS HEAT. (SERVES SOUTH HALF OF BUILDING) SYSTEM CAPABILITY: SUPPLY: 13,000 CFM AT 1.3 IN. E.S.P., 3.23 IN. T.S.P.; RETURN/EXHAUST: 13,000 CFM AT 0.7 IN. E.S.P. 3,200 CFM MIN. OSA. MIN. COOLING: 247 MBH TOTAL; 247 MBH SEN. AT 79.1 F EDB, 62.1 F EWB, 90 F AMBIENT. MIN. HEATING: 450 MBH INPUT; 360 MBH OUTPUT; WITH ROOF CURB AND ECONOMIZER. MIN. 9.5 EER. OPTIONS: ROOF CURB, ECONOMIZER, POWER EXHAUST. PROVIDE ISOLATION CURB IF FANS ARE NOT SPRING ISOLATED. APPROX OPERATING WEIGHT: 7,000 LBS BASED ON: AAOB RN-026-8.	208V / 3 PHASE 150 MCA 175 MOCP 15 HP SUPPLY FAN W/ VFD 5 HP EXHAUST FAN W/ VFD
AC-3	DUCTLESS SPLIT SYSTEM AIR CONDITIONING UNIT. (SERVES ROOM 201) 530 CFM, 24,000 TOTAL COOLING AT 80 F DB, 67 F W.B. 95 F AMB. PROVIDE CONDENSATE PUMP. BASED ON: MITSUBISHI PK24EK.	120V / 1 PHASE 1 MCA 15 MOCP
CU-1	OUTDOOR CONDENSING UNIT FOR AC-3 24,000 TOTAL COOLING TO MATCH AC-3 CONDITIONS. PROVIDE LOW AMBIENT CONTROL. BASED ON: MITSUBISHI PU24EK.	208V / 1 PHASE 16 MCA 20 MOCP
DS-1	DUCT SILENCER. (SERVES FIRST FLOOR AC-1) 36" X 18", 36" LENGTH, 1,000 FPM MAX. FACE VELOCITY. BASED ON: MCGILL UTL-3.	N/A
DS-2	DUCT SILENCER. (SERVES FIRST FLOOR AC-2) 24" X 24", 36" LENGTH, 1,000 FPM MAX. FACE VELOCITY. BASED ON: MCGILL UTL-3.	N/A
DS-3	DUCT SILENCER. (SERVES SECOND FLOOR AC-1) 24" X 18", 36" LENGTH, 1,000 FPM MAX. FACE VELOCITY. BASED ON: MCGILL UTL-3.	N/A
DS-4	DUCT SILENCER. (SERVES SECOND FLOOR AC-2) 30" X 24", 36" LENGTH, 1,000 FPM MAX. FACE VELOCITY. BASED ON: MCGILL UTL-3.	N/A
DS-5	DUCT SILENCER. (SERVES THIRD FLOOR AC-1) 30" X 24", 36" LENGTH, 1,000 FPM MAX. FACE VELOCITY. BASED ON: MCGILL UTL-3.	N/A
DS-6	DUCT SILENCER. (SERVES THIRD FLOOR AC-2) 30" X 24", 36" LENGTH, 1,000 FPM MAX. FACE VELOCITY. BASED ON: MCGILL UTL-3.	N/A
EF-1	CENTRIFUGAL ROOFTOP EXHAUST FAN ALUMINUM HOUSING. (SERVES RESTROOM 121, 123, 124, 214, 324) 405 CFM AT 0.5 IN. T.S.P. WITH CURB, BIRDSCREEN, AND BACKDRAFT DAMPER. MAX. 8.0 SONES. APPROXIMATE OPERATING WEIGHT: 70 LBS BASED ON: GREENHECK GB081.	120V / 1 PHASE 1/4 HP
EF-2	CENTRIFUGAL ROOFTOP EXHAUST FAN ALUMINUM HOUSING. (SERVES RESTROOMS 122, 215, 325, 326) 470 CFM AT 0.5 IN. T.S.P. WITH CURB, BIRDSCREEN, AND BACKDRAFT DAMPER. MAX. 8.0 SONES. APPROXIMATE OPERATING WEIGHT: 70 LBS BASED ON: GREENHECK GB081.	120V / 1 PHASE 1/4 HP
EW-1	FAN FORCED ELECTRIC WALL HEATER. (SERVES RESTROOM 124) 500 W, 100 CFM. COMPLETE WITH WALL CAN AND INTEGRAL THERMOSTAT. BASED ON: QMARK AFA.	120V / 1 PHASE 500 W
EW-2, EW-3	FAN FORCED ELECTRIC WALL HEATER. (SERVES NORTH STAIRWELL) 1.5 KW, 100 CFM. COMPLETE WITH WALL CAN AND INTEGRAL THERMOSTAT. BASED ON: QMARKWH4000.	208V / 1 PHASE 1.5 KW
EW-4	FAN FORCED ELECTRIC WALL HEATER. (SERVES RESTROOM 124) 500 W, 100 CFM. COMPLETE WITH WALL CAN AND INTEGRAL THERMOSTAT. BASED ON: QMARK AFA.	120V / 1 PHASE 500 W

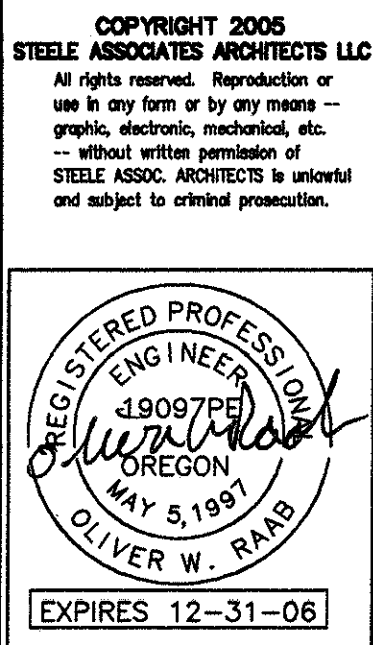
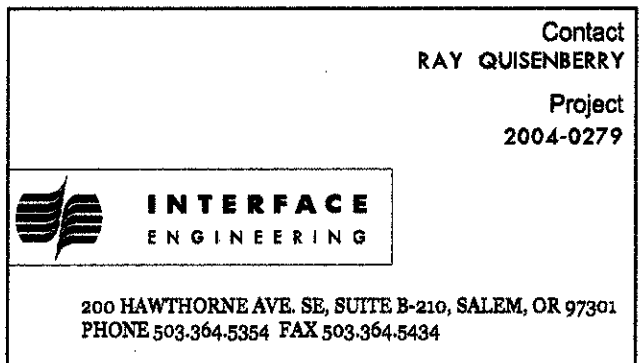
CHAPTER 12 VENTILATION REQUIREMENTS									
DC COURTHOUSE REMODEL									
ROOM NAME + NUMBER	AREA (SQ/FT)	OCCUPANT LOAD FACTOR (CH 10)	OCCUPANT LOAD (AREA/FACTOR)	DESIGN OCC. LOAD	OSA REQ. (CH 12)	VENT. REQ. OSA (CFM)	VENT. PROVIDED (CFM)	NOTES	
AC-1									
OFFICES	4,170	100.0	42	34	20	680	680	a	
JURY ASSEM.	2,140	15.0	143	110	15	1,650	1,650	a	
CORRIDOR/STAIR	1,150	N/A	N/A	N/A	.05/CFM/SF	60	60		
LOBBY	505	100.0	6	12	20	240	240		
BREAK	170	15.0	12	6	20	120	120	a	
RESTROOMS	365	N/A	N/A	N/A	50CFM/WC	300	405	a	
TRAINING 202	305	20.0	16	12	15	180	240	a	
AC-2									
OFFICES	6,690	100.0	67	60	20	1,200	1,200	a	
STAIRS	625	N/A	N/A	N/A	.05CFM/SF	32	40		
LOBBY 2ND FL	635	100.0	7	12	20	240	240		
RESTROOMS	375	N/A	N/A	N/A	50CFM/WG	250	420		
RECEPTION	500	15.0	34	18	15	270	240	a	
CONF. 120	215	15.0	15	8	20	160	140	a	
GRAND JURY	295	15.0	20	12	15	180	240	a	
CONF. 207	245	15.0	17	9	20	180	180	a	
BREAKROOM 203	165	15.0	11	6	20	120	120	a	
NOTES:									
a. UP TO 50% REDUCTION PER OSSC 1203.2.1.									

FAN POWERED VAV TERMINAL UNIT SCHEDULE												
SYMBOL	AREA SERVED	COOLING CFM		HEAT CFM	AIR INLET SIZE (IN)	SERIES/ PARALLEL	HEAT CAP. (KW)	HEATING STAGES	ELECT. VOLT/PH	FAN CFM	ESP. HP	REMARKS
		MAX	MIN	MIN								
FTU-1-1	JURY ASSEMBLY WEST, RESTROOM	1,850	740	740	14	PARALLEL	14.0	3	208/3	890	0.4	1/2
FTU-1-2	JURY ASSEMBLY EAST & ENTRY	1,750	700	700	14	PARALLEL	12.5	3	208/3	840	0.4	1/2
FTU-1-3	LOBBY	430	180	180	6	PARALLEL	3.0	1	208/3	210	0.4	1/4
FTU-1-4	CONFERENCE, WORK 119	760	310	310	6	PARALLEL	5.0	2	208/3	370	0.4	1/3
FTU-1-5	OFFICES	500	200	200	8	PARALLEL	4.0	2	208/3	240	0.4	1/4
FTU-1-6	OFFICE	975	400	400	10	PARALLEL	8.0	3	208/3	470	0.4	1/3
FTU-1-7	RECEPTION WAITING & GRAND JURY SEC	750	300	300	10	PARALLEL	7.5	3	208/3	360	0.4	1/3
FTU-1-8	GRAND JURY	470	190	190	8	PARALLEL	3.0	1	208/3	230	0.4	1/4
FTU-2-1	CUBICAL AREA & RESTROOM	2,070	830	830	14	PARALLEL	12.0	3	208/3	990	0.4	1/2
FTU-2-2	TRAINING ROOM & T'PHONE	800	320	320	10	PARALLEL	5.0	2	208/3	390	0.4	1/3
FTU-2-3	LOBBY & PUBLIC VIEWING	720	290	290	10	PARALLEL	3.0	1	208/3	350	0.4	1/3
FTU-2-4	BREAK AREA & FILE AREA	1,290	520	520	12	PARALLEL	7.5	3	208/3	620	0.4	1/3
FTU-2-5	FILE AREA	900	360	360	10	PARALLEL	5.5	2	208/3	440	0.4	1/3
FTU-2-6	OFFICES	430	180	180	8	PARALLEL	2.5	1	208/3	210	0.4	1/4
FTU-2-7	CONFERENCE ROOM	540	220	220	8	PARALLEL	3.5	1	208/3	260	0.4	1/4
FTU-2-8	OFFICES	670	270	270	8	PARALLEL	4.0	2	208/3	330	0.4	1/4
FTU-3-1	OFFICES,MAIN STAIRS	1,580	640	640	14	PARALLEL	10.5	3	208/3	760	0.4	1/2
FTU-3-2	OFFICES	610	250	250	8	PARALLEL	7.0	2	208/3	300	0.4	1/4
FTU-3-3	OFFICES & BREAK ROOM	890	360	360	10	PARALLEL	6.5	2	208/3	430	0.4	1/3
FTU-3-4	OFFICES	1,200	480	480	12	PARALLEL	9.0	3	208/3	580	0.4	1/3
FTU-3-5	STAIRS, CLOSET & OFFICE	720	300	300	10	PARALLEL	6.0	3	208/3	350	0.4	1/3
FTU-3-6	OFFICES	520	210	210	8	PARALLEL	4.5	2	208/3	250	0.4	1/4
FTU-3-7	OFFICES	990	400	400	10	PARALLEL	6.5	2	208/3	480	0.4	1/3

DIFFUSER, REGISTER AND GRILLE SCHEDULE							
SYMBOL	TYPE	FACE	FRAME	DAMPER	FINISH	MODEL NO.	REMARKS
CD-1	CEILING DIFFUSER	LOUVERED	LAY-IN	NONE	WHITE	TITUS TDC4	
CEG-1	CEILING EXHAUST GRILLE	EGGCRATE	SURFACE	NONE	WHITE	TITUS 50R	
CRG-1	CEILING RETURN GRILLE	EGGCRATE	LAY-IN	NONE	WHITE	TITUS 50R	
CRG-2	CEILING RETURN GRILLE	EGGCRATE	SURFACE	NONE	WHITE	TITUS 50R	
CTG-1	CEILING TRANSFER GRILLE	EGGCRATE	LAY-IN	NONE	WHITE	TITUS 50R	
CTG-2	CEILING TRANSFER GRILLE	EGGCRATE	SURFACE	NONE	WHITE	TITUS 50F	
EG-1	EXHAUST GRILLE	FIXED BAR	1-1/4" BORDER	NONE	WHITE	TITUS 350RL	
SD-1	LINEAR SLOT DIFFUSER	SLOTS	LAY-IN	NONE	WHITE	TITUS TBD-30	PROVIDE W/ INSULATED PLENUM
SG-1	SUPPLY GRILLE	DOUBLE DEFL.	1-1/4" BORDER	NONE	WHITE	TITUS 300RS	22.5 DEGREE DEFLECTION

TERMINAL VAV UNIT SCHEDULE									
SYMBOL	AREA SERVED	COOLING CFM		HEAT CFM	AIR INLET SIZE (IN)	HEAT CAP. (KW)	HEATING STAGES	ELECT. VOLT/PH	REMARKS
		MAX	MIN	MIN					
TU-1.1	BREAK, RECEPTION	390	160	160	6	2.0	1	208/1	
TU-3.1	STAIRS, WORK AREA	1,260	570	570	12	4.5	2	208/3	
TU-3.2	WORK AREA	960	390	390	12	4.0	2	208/3	

NOTE: MAXIMUM COOLING CFM TO BE NO GREATER THAN 75% OF BOX MAXIMUM CAPACITY



Steele Associates
ARCHITECTS
730 S.W. BONNETT
SUITE 3000
BEND, OR 97702
541.382.9867 FAX 541.385.8816
info@steele-arch.com

D.C. COURTHOUSE REMODEL
1164 N.W. BOND STREET
BEND OREGON
EQUIPMENT - HVAC

PRINTS ISSUED: _____ DATE: _____

JOB NO. 02/31.21
DATE 02/03/05
DRAWN BY BCB CHECKED BY OR
REVISIONS: _____ DATE: _____

SHEET NO. **M4.1**
OF _____ SHEETS

PERMIT CONSTRUCTION SET

DESCHUTES COUNTY COURTROOM
REMODEL
CLIENT:
DESCHUTES COUNTY

PROJECT ADDRESS:
1100 NW BOND ST, BEND, OR
97703

APPROVED FOR	DATE	BY
PERMIT SET	10/27/2020	PETER BAER

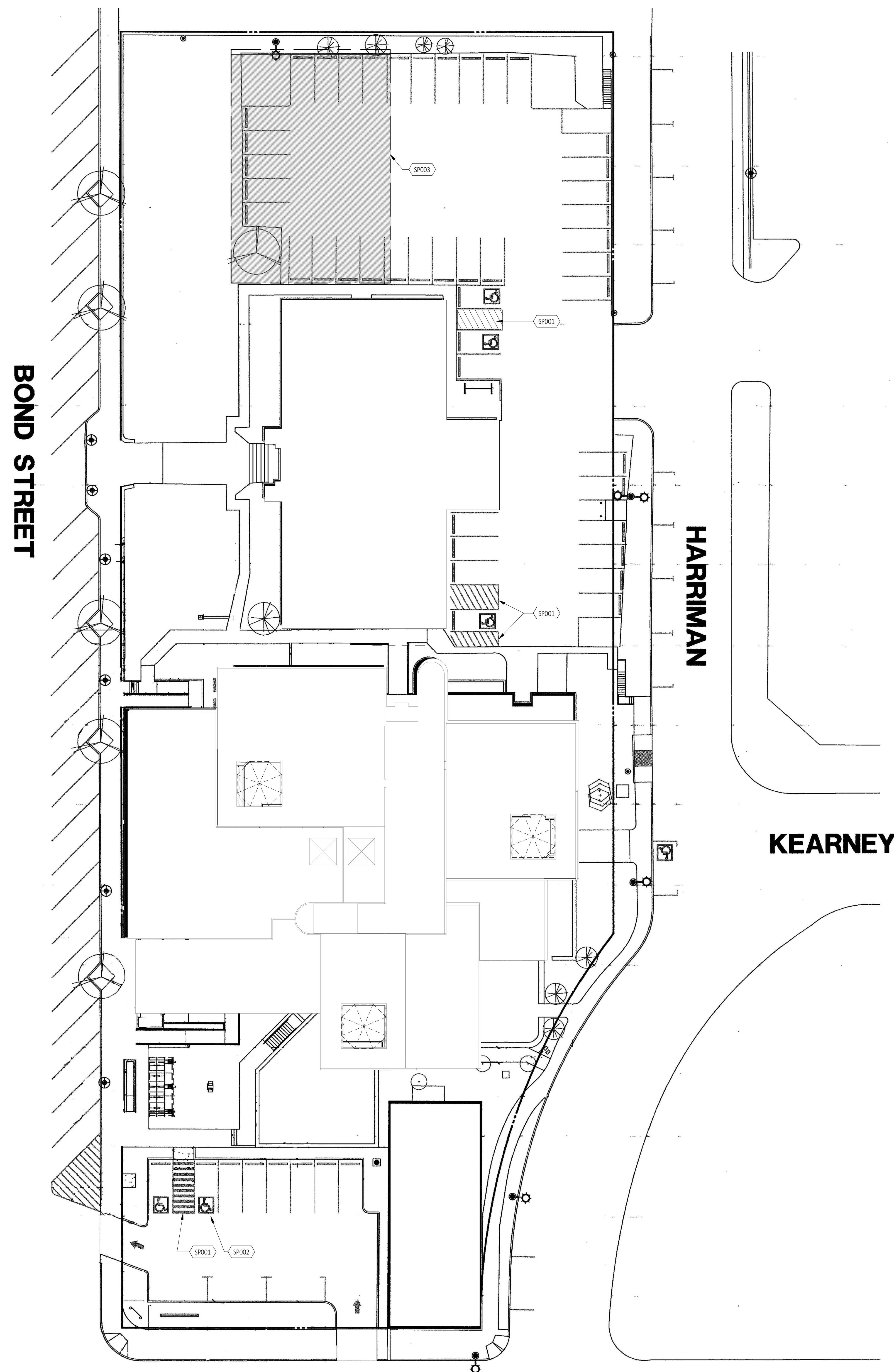
	DESCRIPTION	DATE
1		
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10		

PROJECT NO: 2013.DCC
DRAWN BY: MALLORY FAIR
CHECKED BY: PETER BAER

ARCHITECTURAL SITE PLAN

AS1.10

10/27/2020 8:57:01 AM



1 SITE PLAN
1" = 20'-0"



SIGN DESIGN

SIGN NO. OR7-9

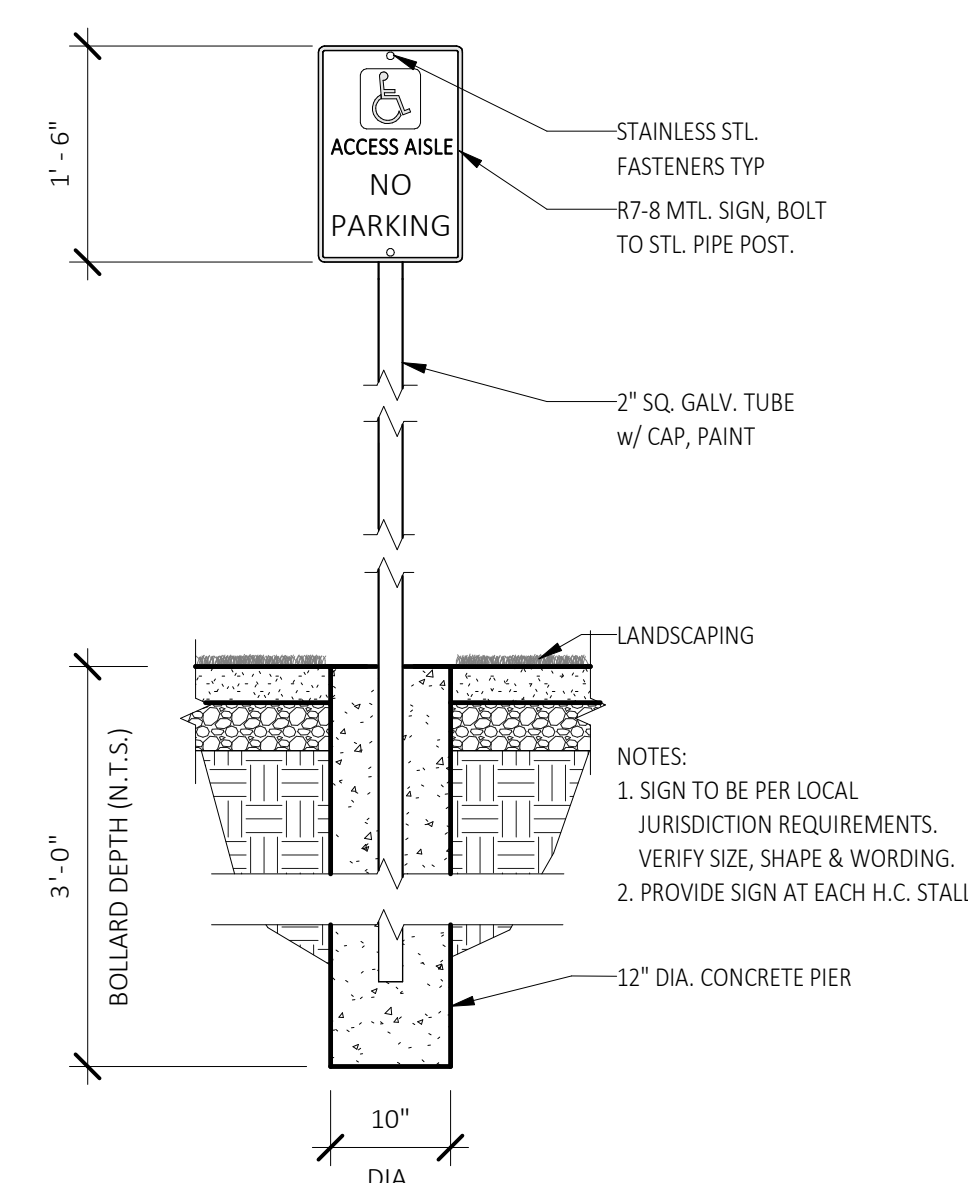


Sign Background:	White, Retroreflective sheeting
Sign Legend:	Red, Retroreflective sheeting
Sign Symbol:	White on Blue, Retroreflective sheeting
Sign OR7-9a:	Use when back of walk directly behind access aisle is not available for sign placement and sign must be placed to one side of pedestrian access ramp.

The No Parking In Access Aisle sign is used to designate an access aisle reserved for persons use parking with DMV permit. Install sign in locations where "No Parking" pavement marking may not be visible regularly from snow or sand. Place sign to have direct view from end of access aisle when possible outside of accessible route.

Figure 11

14



2 DTL_TYP. PARKING SIGN
3/4" = 1'-0"

KEYNOTES	
Key Value	Keynote Text
SP001	INSTALL "NO PARKING" SIGN PER DETAIL 2A51.10. PER BARRIER REMOVAL LETTER
SP002	DESCHUTES COUNTY TO PATCH ASPHALT AT SE CORNER OF PAVEMENT PER BARRIER REMOVAL LETTER
SP003	DESIGNATED CONSTRUCTION STAGING AREA

SP001	INSTALL "NO PARKING" SIGN PER DETAIL 2AS1.10. PER BARRIER REMOVAL LETTER
SP002	DESCHUTES COUNTY TO PATCH ASPHALT AT SE CORNER OF PAVEMENT PER BARRIER REMOVAL LETTER
SP003	DESIGNATED CONSTRUCTION STAGING AREA

